

PLANNING APPLICATION NUMBER:P12/0696

Type of approval sought	Full Planning Permission
Ward	Norton
Applicant	Mr M. Jones
Location:	68, PARK ROAD WEST, WOLLASTON, STOURBRIDGE, DY8 3NQ
Proposal	SINGLE STOREY REAR EXTENSION (RETROSPECTIVE).
Recommendation Summary:	APPROVE SUBJECT TO CONDITIONS

INTRODUCTION

This application has been deferred for a site visit by the Members of the Development Control Committee.

SITE AND SURROUNDINGS

1. The application site measures 422m² and the property is a semi-detached hipped roof dwelling built in the 1930s. The house benefits from a single storey rear extension which is the subject of this application. The house also features a two storey bay window on the front elevation.
2. No. 66 Park Road West is adjoined to the application property and located to the east. That property is situated at a slightly lower ground level and benefits from a single storey rear conservatory and detached garage. No. 70 Park Road West is located to the west of the application site and at a slightly higher ground level. There is a side / rear addition positioned between that house and the application site. No. 31 Fir Grove is located to the north at over 60m distance.
3. The property is located within an established residential area with surrounding properties within the street being of a similar age, type and design to the application property. Many feature rear / side extensions.

PROPOSAL

4. This proposal seeks retrospective approval for a single storey rear extension to provide a kitchen.
5. The rear extension is located directly to the rear of the original property, being 4m in length and 4.3m in height with a mono-pitched roof. The eaves height is 2.3m

HISTORY

6. This property has one previous relevant application.

APPLICATION	PROPOSAL	DECISION	DATE
P07/1201	Two storey rear extension to create sunroom and additional bedroom	Approved with conditions	26.07.07

PUBLIC CONSULTATION

- Direct notification was carried out to three surrounding properties to advertise the proposal. There has been one written representation objecting to the scheme.
- The objection was based on the following material planning considerations:
 - Loss of light and overshadowing
 - Overbearing
 - The design, appearance and materials and out of context with the area

OTHER CONSULTATION

None required.

RELEVANT PLANNING POLICY

Saved Unitary Development Plan Policies

- DD1 Urban Design
- DD4 Development in Residential Areas

Supplementary Planning Documents / Guidance

- Parking Standards SPD
- PGN 17. House extension design guide

ASSESSMENT

7. The proposed development must be assessed with regard to its design and whether it would be compatible with the existing dwelling and the character of the area. The potential impact on the amenity of nearby neighbours must also be assessed along with the relevant parking standard requirements.
8. The key issues are
 - Design
 - Neighbour Amenity
 - Access and Parking

Design

9. Policy DD4 of the saved UDP states that extensions to residential dwellings will be allowed provided they do not adversely affect the character of the area or residential amenity. The rear extension is fairly modest in scale and size, not projecting further than many additions on neighbouring properties. Rear extensions are typical of many properties within this street and do not appear out of place. Many nearby properties already feature rear extensions, so the proposal is considered as in-keeping with previous additions in the area. Although it projects across the entire rear elevation this is not considered as overdevelopment of the site.
10. The additional footprint is acceptable in comparison to the original property and the plot size. The projection and overall size is considered as acceptable, projecting only to the rear of the original house. The rear projection would not be significantly further to the rear than the extensions on adjoining Nos. 66 and 70 Park Road West, and the overall size would therefore be in-keeping with the host dwelling and

existing development to nearby dwellings. As a single storey addition the proposal is subservient to the original house.

11. The mono-pitched roof would be an acceptable addition to the pitched roof house and as the extension is located entirely to the rear of the property and not visible from the front it has not adversely impacted on the character of the area. Therefore, the general design is considered as acceptable.
12. The materials would be conditioned to match that of the original property to ensure the extension is integrated as much as possible.
13. In these respects the proposal complies with saved UDP Policy DD4 – Development in Residential Areas of the saved UDP (2005) and PGN 17 – House Extension Design Guide.

Neighbour Amenity

14. There has been no significant impact on residential amenity for the occupiers of No. 66 Park Road West as that property features a rear conservatory extension located along the boundary with the application site. The conservatory has already blocked light to the nearest habitable room window (dining room) and it is not considered that the extension has significantly impacted on daylight or outlook to the property due to the orientation of the houses and existing addition. The conservatory would not be classed as habitable with regards to amenity provision, however, the 45 degree code guidelines would not be breached by the extension when measured from the conservatory.
15. The furthest window on No. 66 from the extension is the kitchen window and door. The extension is fairly well screened from this window by the existing conservatory so outlook from this window has not been impacted upon. The two windows on the rear elevation of No. 66 at ground floor level are also for the same room and therefore the proposal has not resulted in a significant impact on daylight provision or outlook for the occupiers of this property.

16. As a single storey addition, despite the ground level difference, the addition is not considered as overbearing when viewed from this adjacent property.
17. There are no windows in the structure that have impacted upon privacy for the occupiers of No. 66 West Park Road.
18. No. 70 Park Road West features a rear / side projection along the boundary with the application site. The development is not visible from that property due to the higher ground level and therefore has had no impact on daylight provision or outlook for the occupiers. Due to the change in ground level, window location and screening there has been no impact on privacy for the occupiers of this house.
19. The proposal has not impacted on amenity for the occupiers of No. 31 Fir Grove due to the separation distance of at least 60m.
20. The properties to the front on Park Road West also have no sight of the addition so there has been no impact on amenity for the occupiers.
21. It is considered that there has been no demonstrable harm to neighbouring properties in terms of loss of light, outlook or privacy as a result of the proposal. The proposal therefore complies with saved Policy DD4 – Development in Residential Areas, PGN 12 – The 45 Degree Code - and PGN 17 – House Extension Design Guide.

Access and parking

22. There has been no additional parking requirement as a result of the proposal and no impact on the existing parking provision for the property. At least one car could be parked on the frontage and as there has been no additional requirement as a result of the proposal the development would therefore comply with the minimum standards of the Parking Standards SPD (2012) and Policy DD4 of the saved Unitary Development Plan (2005).

CONCLUSION

23. It is considered that the rear extension is of an acceptable size and appropriate design. The addition is located at the rear of the property and has not adversely impact on the street scene or the character of the surrounding area.
24. There has been no impact on residential amenity for any surrounding properties due to the location of existing extensions as well as separation distances and position of habitable windows on neighbouring properties. There are also no windows which have impacted on privacy.
25. The proposal has not increased the parking requirement of the property or impacted upon the parking provision.
26. The development therefore complies with saved UDP Policy DD4 (Development in Residential Areas) and PGN 17 (House Extension Design Guide).

RECOMMENDATION

27. It is recommended that the application is approved subject to the following conditions:

Reason for approval

It is considered that the rear extension relates satisfactorily to the existing dwelling, protecting visual and residential amenity. There would be no demonstrable harm to neighbouring properties and no adverse effect on the street scene or character of the area.

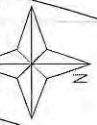
The decision to grant planning permission has been taken with regard to the policies and proposals in the adopted Black Country Core Strategy (2011), the saved UDP (2005) and to all other relevant material considerations.

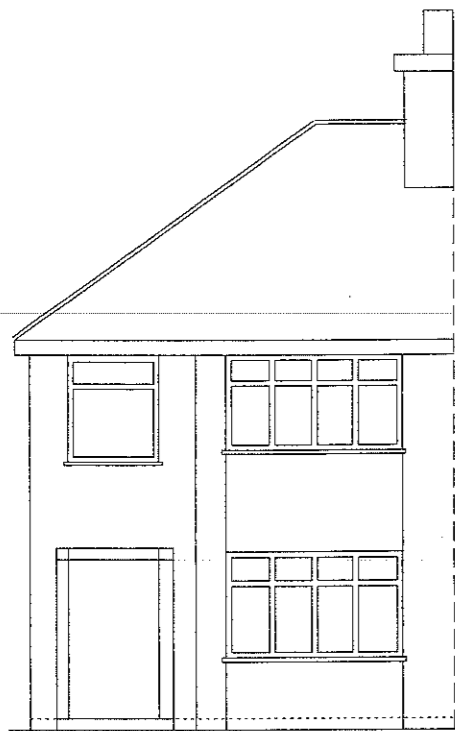
The above is intended as a summary of the reasons for the grant of planning permission. For further detail on the decision please see the application report.

The development hereby permitted shall remain in accordance with the approved plans labelled drawing No. '1601/002' unless otherwise agreed in writing by the Local Planning Authority.

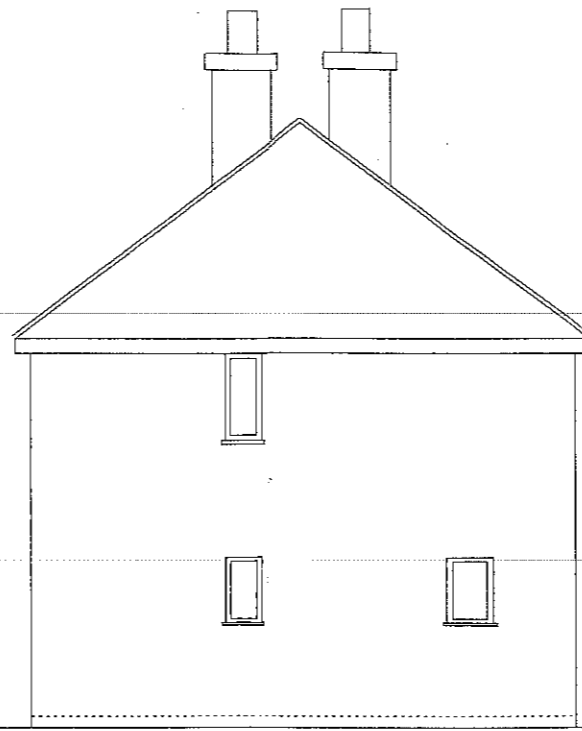
Conditions and/or reasons:

1. The materials to be used in the approved development shall match in appearance, colour and texture those of the existing building unless otherwise agreed in writing with the local planning authority.
2. The development hereby approved shall be carried out in accordance with the details shown on amended plan labelled drawing No. '1601/002'

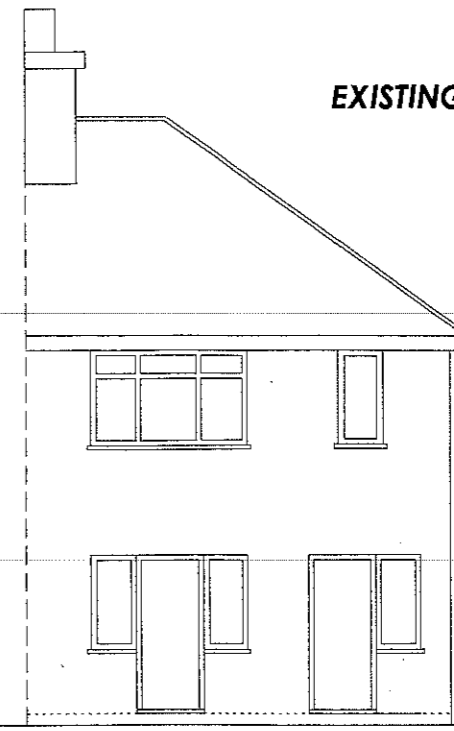




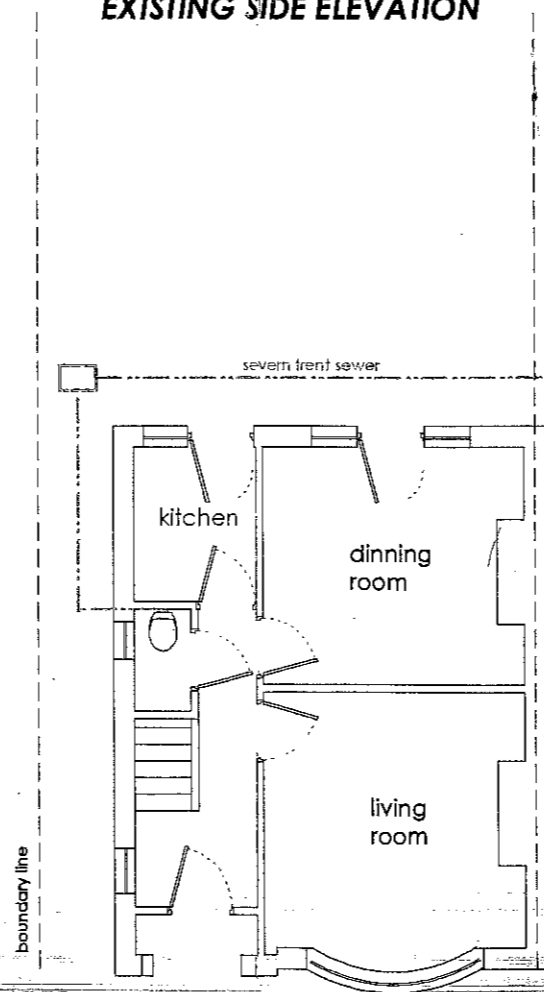
EXISTING FRONT ELEVATION



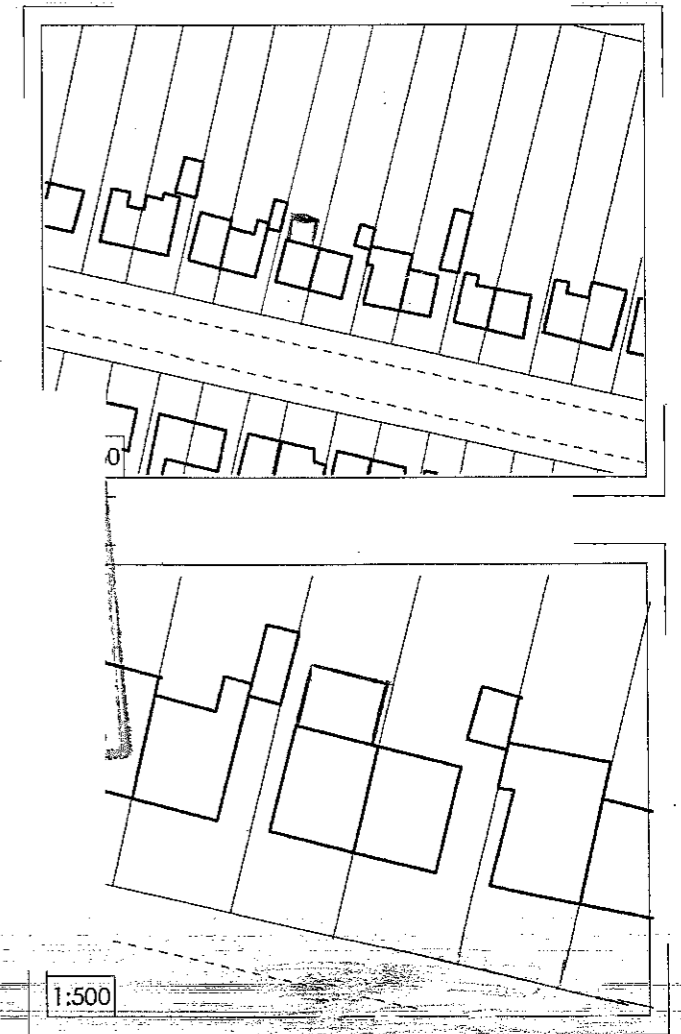
EXISTING SIDE ELEVATION



EXISTING REAR ELEVATION



EXISTING GROUND FLOOR PLAN



ADDRESS 68 Park Road West, Wollaston, Stourbridge	DWG NAME Existing Elevations, Existing Floor Layout	SCALE 1:100
DESCRIPTION Rear Single storey extension	DWG REF 1601/001	REV DATE February 2008

External Wall below DPC - Semi engineering bricks to be utilised with a lean mix cavity fill 225mm below a Hy-Load DPC membrane, 150mm above external ground level.

External Wall above DPC - 103mm Facing Brick 1:1:6 lime mortar mix, 85mm cavity fully filled with "Rockwool" Cavity Wall Batts (Thermal Conductivity, k-value 0.036 W/m K), 100mm Celcon Standard lightweight block (Thermal Conductivity, k-value 0.15 W/m K) inner leaf with 12.5mm plasterboard on dabs and 3mm plaster skim. Achieving a U-value of 0.30 W/m² K. Wall ties to be a minimum 225mm double triangle or vertical twist, to be installed @ 900mm ctrs horizontally, 450mm ctrs vertically, 300mm vertically around openings. Cavities to be closed with Thermabate cavity closures or equivalent. Crocodile clips, connecting new to existing brickwork.

Pitched Roof (Pitch 12.5°) - Roof tiles on 38x25mm batts fixed to Tyvek Supro[®] breathable felt (timber sizes specified on plan). Timbers to be strapped to conform to BS EN845-1, 30x5x1200mm galvanised straps fixed at 2.0m ctrs. 90mm of celotex GA3090 between rafters and 45mm of GA3045 below rafters. Finished internally with 12.5mm plasterboard and plaster skim. Achieving a U-value of 0.20 W/m² K.

Drainage - New drainage to be flexible jointed supersleeve laid to a fall of 1:40 surrounded and bedded in pea gravel. Rodding access to be provided at changes in direction or gradient. RWP, 110mm half gutter connecting to 75mm down pipe, B.I.G. where combined system

malvern interlocking tiles

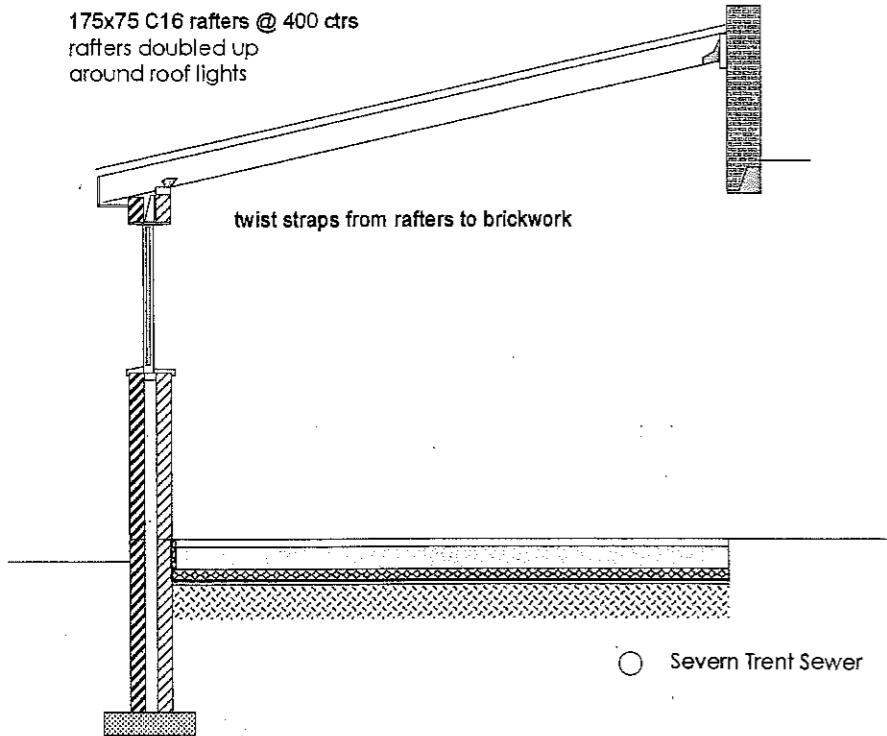
Code 4 Lead at roof to wall abutment



225x50 bearing plate bolted to existing wall, truss clips fix rafters to bearer.

175x75 C16 rafters @ 400 ctrs rafters doubled up around roof lights

twist straps from rafters to brickwork



SECTION A:A

PROPOSED SIDE ELEVATION

PROPOSED REAR ELEVATION

RWP to soakaway 5.0m from house
1.0x1.0x1.0m trench 500mm pea gravel to bottom

Windows / Rooflights - To be double glazed with Pilkington (24mm sealed units Argon filled) inner glass to be finished with emmissivity coating to give a 'U' value of 1.8 w/m²K. Opening lights equating to a minimum of 1/20th of the floor area. Glazing within 800mm of the floor level and glass doors or side panels a horizontal distance of 300mm from door and minimum height of 1500mm above floor level, to be safety glass complying with BS6206:1981. Means of escape windows to be in compliance with Approved Document Part B, section 2.11. The window should have an unobstructed openable area that is at least 0.33m² and at least 450mm high and 450mm wide. The bottom of the openable area should be not more than 1100mm above the floor.

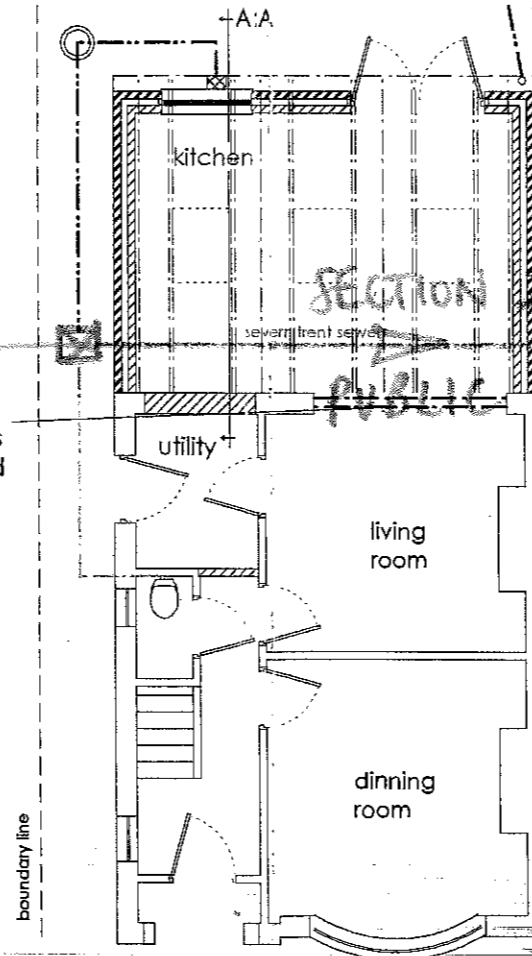
Ventilation - All habitable rooms (including kitchen) to have background ventilation equivalent to 8000m³. Kitchen to be mechanically ventilated to provide extraction of 60 ltr/sec. Mechanical ventilation to bathroom to provide extraction at a rate of 15 ltr/sec, all ventilated to fresh air.

Lintols - Pre-stressed concrete lintols installed over new doorways, minimum of 150mm end bearing. CG70/100 Catnic Lintols over windows.

Waste Pipes - Sink / bath waste 40mm, wash hand basin 32mm PVC pipe fitted with 75mm deep re-sealable traps and discharging into a B.I.G. below grating level.

Electrical Installation - All electrical work to achieve the requirements of Approved Document P (electrical safety) and must be designed, installed and inspected and tested by a person competent to do so.

catnic box lintols to suit 150mm end bearing



PROPOSED GROUND FLOOR PLAN

Ground Floor - The floor construction consists of 50mm screed on 150mm concrete slab, 75mm Kingspan Thermafloor TF70 insulation (Thermal Conductivity, k-value 0.023 W/m K) Achieved a U-value of 0.20 W/m² K. To be positioned an 1200g DPM membrane lapped in to the internal leaf, supported on 25mm of sand blinding, on a minimum of 150mm well compacted hardcore.

Foundations - Foundations to be a minimum size of 150mm thick and 600mm wide, to a minimum depth of 1000mm or to the satisfaction of the LA Building Control Surveyor. Foundation adjacent to, crossing or within 1000mm of any drain should be below the invert level. Any drain passing through the foundation should be bridged with a minimum 50mm clearance.

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DESCRIPTION Rear Single storey extension	DWG REF 1601/002	REV	DATE February 2008